

LARRY WHALEY  
OSCEOLA COUNTY, FLORIDA  
CLERK OF CIRCUIT COURT

15P

**Return to:**

JoAnn Levy  
1690 S. Congress Ave., Suite 200  
Delray Beach FL 33445

CL 2002056769 OR 2028/340  
SKS Date 04/04/2002 Time 08:57:48

**Prepared by:**

Mark F. Grant, Esq.  
Ruden, McClosky, Smith,  
Schuster & Russell, P.A.  
P.O. Box 1900  
Fort Lauderdale FL 33302

**AMENDMENT TO DECLARATION OF CONDOMINIUM  
OF  
THE TERRACES AT CELEBRATION, A CONDOMINIUM  
TO ADD PHASE 3**

THIS AMENDMENT TO DECLARATION OF CONDOMINIUM OF THE TERRACES AT CELEBRATION, A CONDOMINIUM TO ADD PHASE 3 ("Amendment"), made this 15<sup>th</sup> day of April, 2002, by ORIOLE HOMES CORP., a Florida corporation (hereinafter referred to as "Developer"), whose principal office is located at 1690 South Congress Avenue, Suite 200, Delray Beach, Florida 33445.

WHEREAS, pursuant to the Condominium Act, Chapter 718, Florida Statutes, 1976, as amended through the date of recordation of the "Declaration" (as hereinafter defined) ("Act"), Developer has established The Terraces at Celebration, a Condominium ("Condominium"), according to the Declaration of Condominium ("Declaration") thereof recorded in Official Records Book 1954, Page 1603, of the Public Records of Osceola County, Florida and all amendments thereto (including amendments which added phases prior to the date hereof); and

WHEREAS, the Condominium is a "phase condominium" as contemplated by Section 718.403 of the Act and as set forth in the Declaration; and

WHEREAS, the Declaration provides for the submission to condominium ownership of the "Initial Phase" (as defined in the Declaration) and also provides for submission to condominium ownership of Phase 3 as described in the Declaration; and

WHEREAS, Developer desires to add Phase 3 as part of the Condominium;

NOW, THEREFORE, Developer, as the owner in fee simple of the "Phase 3 Land," as hereinafter defined, hereby states and declares:

- 1. All terms used herein shall have their meaning as defined in the Declaration.
- 2. The real property more particularly described on the legal description and the Survey, Plot Plan and Graphic Description of Improvements for Phase 3 ("Phase 3 Survey") attached hereto as Exhibit A ("Phase 3 Land") and the improvements located thereon and all easements intended for use in connection with the Condominium are hereby submitted to condominium ownership and added as a part of the Condominium pursuant to Articles 5, 6 and 7 of the Declaration. The Phase 3 Land, together with improvements now or hereafter located thereon and all appurtenances thereto, all as set forth on the Phase 3 Survey, shall constitute Phase 3.

3. The share in the Common Elements of each Dwelling Unit, including Dwelling Units in the prior phase(s) of the Condominium, shall be a one-ninety-ninth (1/99th) share. Phase 3 is the final phase to be added to the Condominium.

4. This Amendment shall become effective upon recording amongst the Public Records of Osceola County, Florida. The effect of this Amendment shall be that Phase 3, together with previously submitted phase(s), shall be, and the same shall constitute, the Condominium.

IN WITNESS WHEREOF, Developer has hereunto set its hand and official seal on the day and year first above written.

WITNESSES:

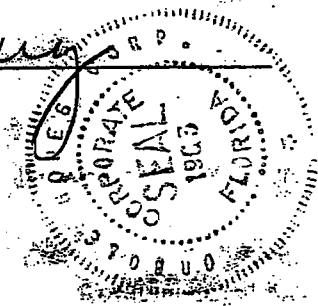
ORIOLE HOMES CORP.

Susan V Spragg  
Print Name: Susan V Spragg

Steven Mahon  
Print Name: Steven Mahon

By: Mark Levy  
Mark Levy, President


(SEAL)



STATE OF FLORIDA )  
 ) SS:  
COUNTY OF PALM BEACH )

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, the foregoing instrument was acknowledged before me by Mark Levy, the President of ORIOLE HOMES CORP., a Florida corporation, freely and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation. He is personally known to me.

WITNESS my hand and official seal in the County and State last aforesaid this 1<sup>st</sup> day of ~~March~~, 2002.  
April

  
Notary Public, State of Florida at Large

\_\_\_\_\_  
Typed, printed or stamped name of Notary Public

My Commission Expires:

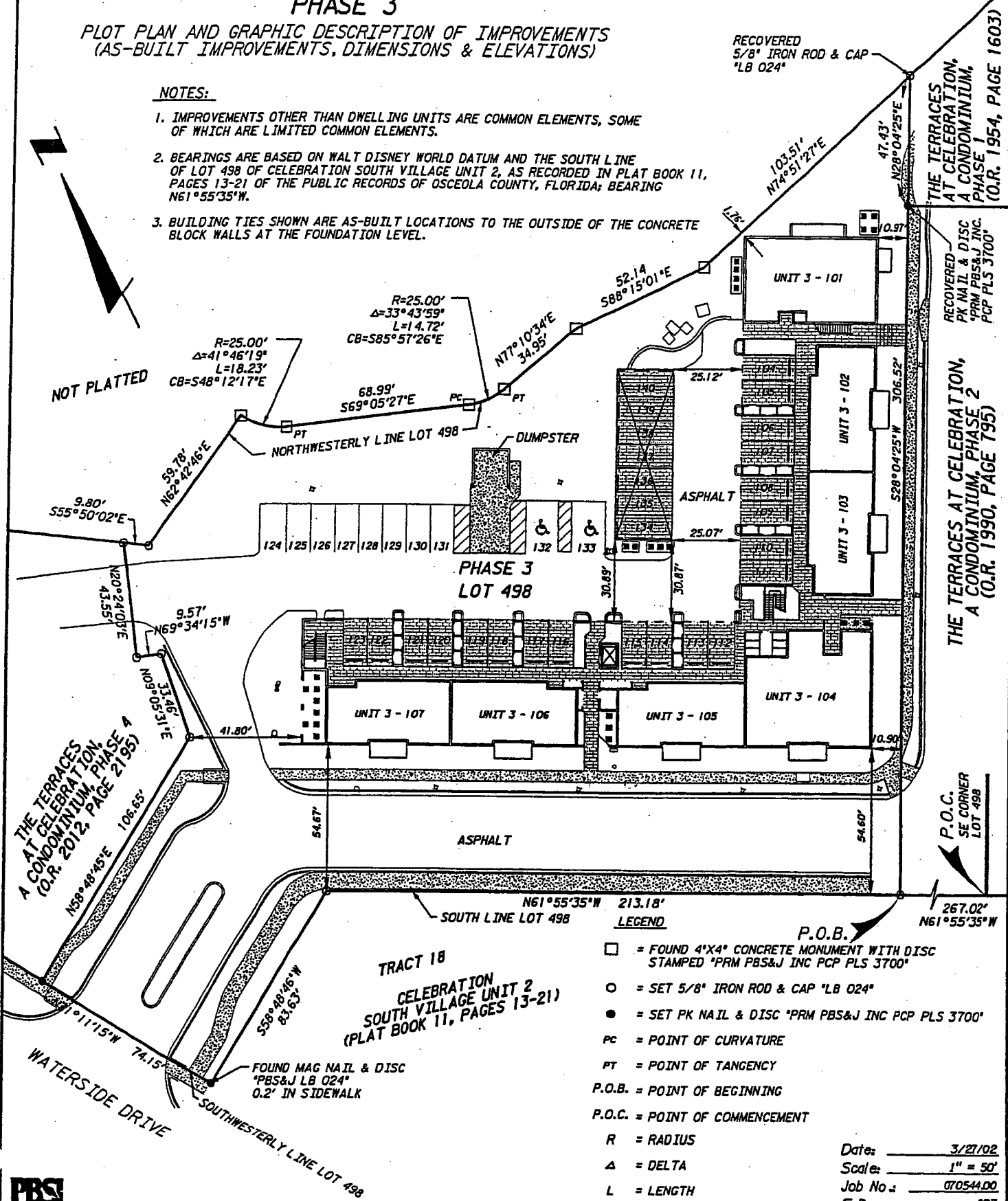


THE TERRACES AT CELEBRATION, A CONDOMINIUM  
PHASE 3

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)

NOTES:

1. IMPROVEMENTS OTHER THAN DWELLING UNITS ARE COMMON ELEMENTS, SOME OF WHICH ARE LIMITED COMMON ELEMENTS.
2. BEARINGS ARE BASED ON WALT DISNEY WORLD DATUM AND THE SOUTH LINE OF LOT 498 OF CELEBRATION SOUTH VILLAGE UNIT 2, AS RECORDED IN PLAT BOOK 11, PAGES 13-21 OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA; BEARING  $N61^{\circ}55'35''W$ .
3. BUILDING TIES SHOWN ARE AS-BUILT LOCATIONS TO THE OUTSIDE OF THE CONCRETE BLOCK WALLS AT THE FOUNDATION LEVEL.



RECOVERED  
5/8" IRON ROD & CAP  
'LB 024"

THE TERRACES AT CELEBRATION,  
A CONDOMINIUM,  
PHASE 1  
(O.R. 1954, PAGE 1603)

RECOVERED  
PK NAIL & DISC  
'PRM PBS&J INC PCP PLS 3700"

THE TERRACES AT CELEBRATION,  
A CONDOMINIUM, PHASE 2  
(O.R. 1990, PAGE 795)

P.O.C.  
SE CORNER  
LOT 498

P.O.B.

- LEGEND**
- = FOUND 4"X4" CONCRETE MONUMENT WITH DISC STAMPED "PRM PBS&J INC PCP PLS 3700"
  - = SET 5/8" IRON ROD & CAP 'LB 024"
  - = SET PK NAIL & DISC "PRM PBS&J INC PCP PLS 3700"
  - PC = POINT OF CURVATURE
  - PT = POINT OF TANGENCY
  - P.O.B. = POINT OF BEGINNING
  - P.O.C. = POINT OF COMMENCEMENT
  - R = RADIUS
  - Δ = DELTA
  - L = LENGTH
  - CB = CHORD BEARING
  - O.R. = OFFICIAL RECORDS BOOK
- Date: 3/21/02  
 Scale: 1" = 50'  
 Job No.: 070544.00  
 F.B.: 023  
 Drawn By: PHM  
 Ckd. By: DKK

**PBS**  
 482 South Keller Road  
 Orlando, Florida 32810  
 Tel: 407/647-7275 Certificate No. LB 24

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# THE TERRACES AT CELEBRATION, A CONDOMINIUM

## PHASE 3 LEGAL DESCRIPTION, NOTES & CERTIFICATION

### LEGAL DESCRIPTION

A part of Lot 498, CELEBRATION SOUTH VILLAGE UNIT 2, according to the plat thereof as recorded in Plat Book 11, Pages 13-21, Public Records, Osceola County, Florida, being more particularly described as follows:

Commence at the Southeast corner of said Lot 498; thence N.61°55'35"W. along the South line of said Lot 498 for 267.02 feet to the POINT OF BEGINNING; thence continue along said South line of said lot 498 N.61°55'35"W. for 213.18 feet; thence continue along said South line S.58°48'46"W. for 83.63 feet to the Southwesterly line of said Lot 498; thence N.31°11'15"W. along said Southwesterly line for 74.15 feet; thence leaving said Southwesterly line run N.58°48'45"E. for 106.65 feet; thence N.09°05'31"E. for 33.46 feet; thence N.69°34'15"W. for 9.57 feet; thence N.20°24'03"E. for 43.55 feet to the Northwesterly line of said Lot 498; thence along said Northwesterly line for the following eight courses: S.55°50'02"E. for 9.80 feet; thence N.62°42'46"E. for 59.78 feet to a non-tangent curve concave Northeasterly; thence Southeasterly along the arc of said curve, having a radius of 25.00 feet and a chord bearing of S.48°12'17"E., through a central angle of 41°46'19", for 18.23 feet to the point of tangency; thence S.69°05'27"E. for 68.99 feet to the point of curvature of a curve concave Northerly; thence Easterly along the arc of said curve, having a radius of 25.00 feet, through a central angle of 33°43'59", for 14.72 feet to the point of tangency; thence N.77°10'34"E. for 34.95 feet; thence S.88°15'01"E. for 52.14 feet; thence N.74°51'27"E. for 103.51 feet; thence leaving said Northwesterly line of Lot 498, S.28°04'25"W. for 306.52 feet to the POINT OF BEGINNING.


Containing 1.466 acres (63838 square feet), more or less.

### NOTES:

1. FIELD WORK WAS COMPLETED ON MARCH 21, 2002.
2. ELEVATIONS SHOWN ARE BASED ON WALT DISNEY WORLD DATUM.
3. IMPROVEMENTS OTHER THAN DWELLING UNITS ARE COMMON ELEMENTS, SOME OF WHICH ARE LIMITED COMMON ELEMENTS.

### CERTIFICATION

The construction of the Improvements for PHASE 3 of THE TERRACES AT CELEBRATION, A CONDOMINIUM, is substantially complete, so that the Declaration of Condominium, together with Exhibits thereto, is an accurate representation of the location and dimensions of the Improvements comprising PHASE 3 of THE TERRACES AT CELEBRATION, A CONDOMINIUM, and so that the identification, location and dimensions of the common elements and of each unit can be determined from these materials. This certification is made in compliance with Section 718.104(4)(e), Florida Statutes.

  
 J. Vance Corber, J.F.T.A.E.  
 Professional Surveyor and Mapper  
 Florida Certificate No. 13598

NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Date: 3/27/02  
 Scale: N/A  
 Job No.: 070544.00  
 F.B.: 823  
 Drawn By: PHM  
 Ckd. By: DRK  
 Sheet 2 of 12



482 South Keller Road  
Orlando, Florida 32810  
Tel: 407/647-7275 Certificate No. LB 24

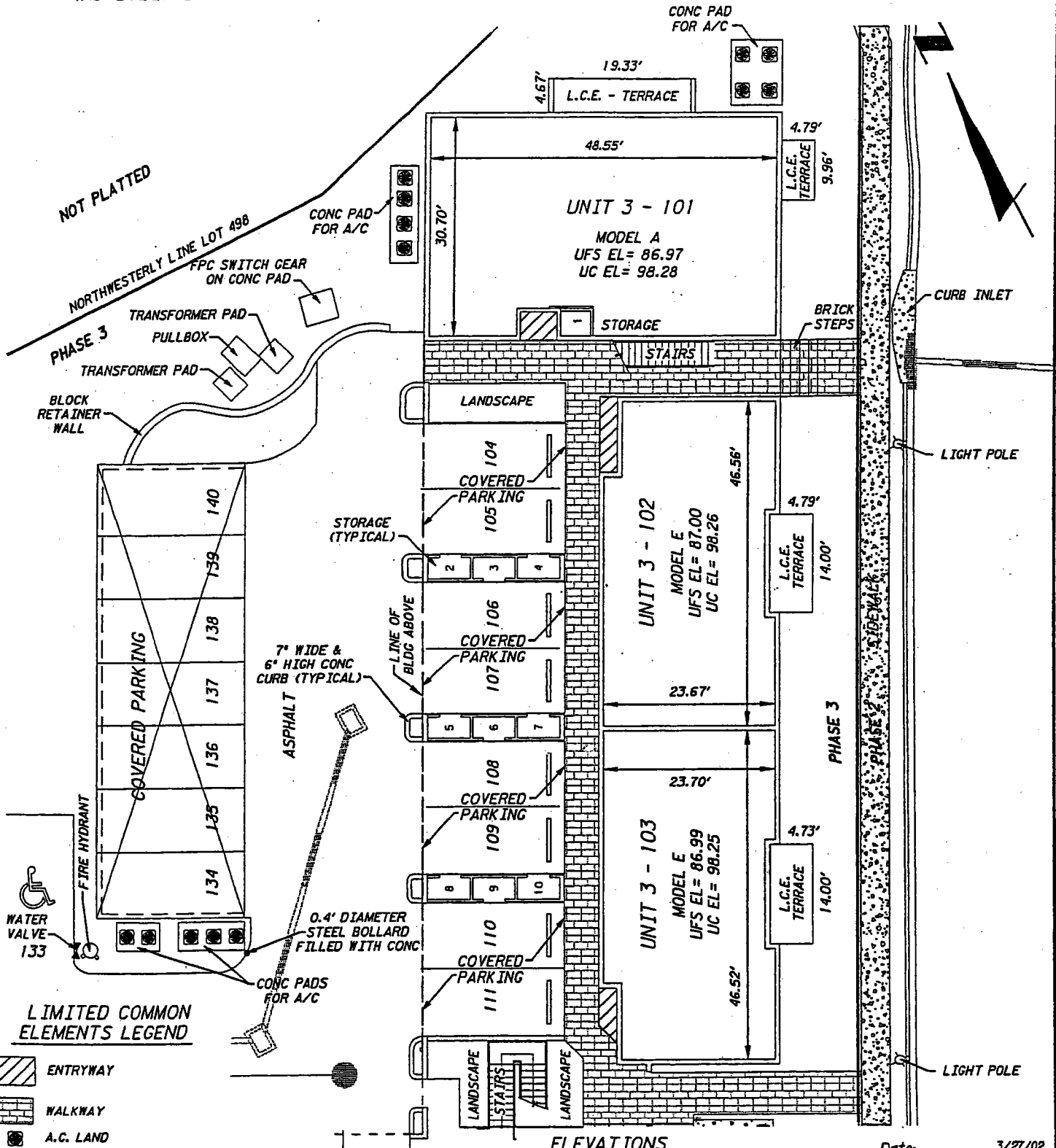
EXHIBIT A

TERRACES AT CELEBRATION SOUTH VILLAGE UNIT 2 PHASE 3

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# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 1st Floor

## PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS (AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



### LIMITED COMMON ELEMENTS LEGEND

- ENTRYWAY
- WALKWAY
- A.C. LAND
- ..C.E. = LIMITED COMMON ELEMENT

### LEGEND

- CONC = CONCRETE
- FPC = FLORIDA POWER CORPORATION
- A/C = AIR CONDITIONER
- BLDG = BUILDING

### ELEVATIONS

Elevations shown are based upon Walt Disney World Datum.

Unfinished Floor Slab Elevation = UFS EL  
Unfinished Ceiling Elevation = UC EL

Date: 3/27/02

Scale: 1" = 20'

Job No.: 070544.00

F.B.: 823

Drawn By: PHM

Ckd. By: DKK

EXHIBIT A Sheet 3 of 12

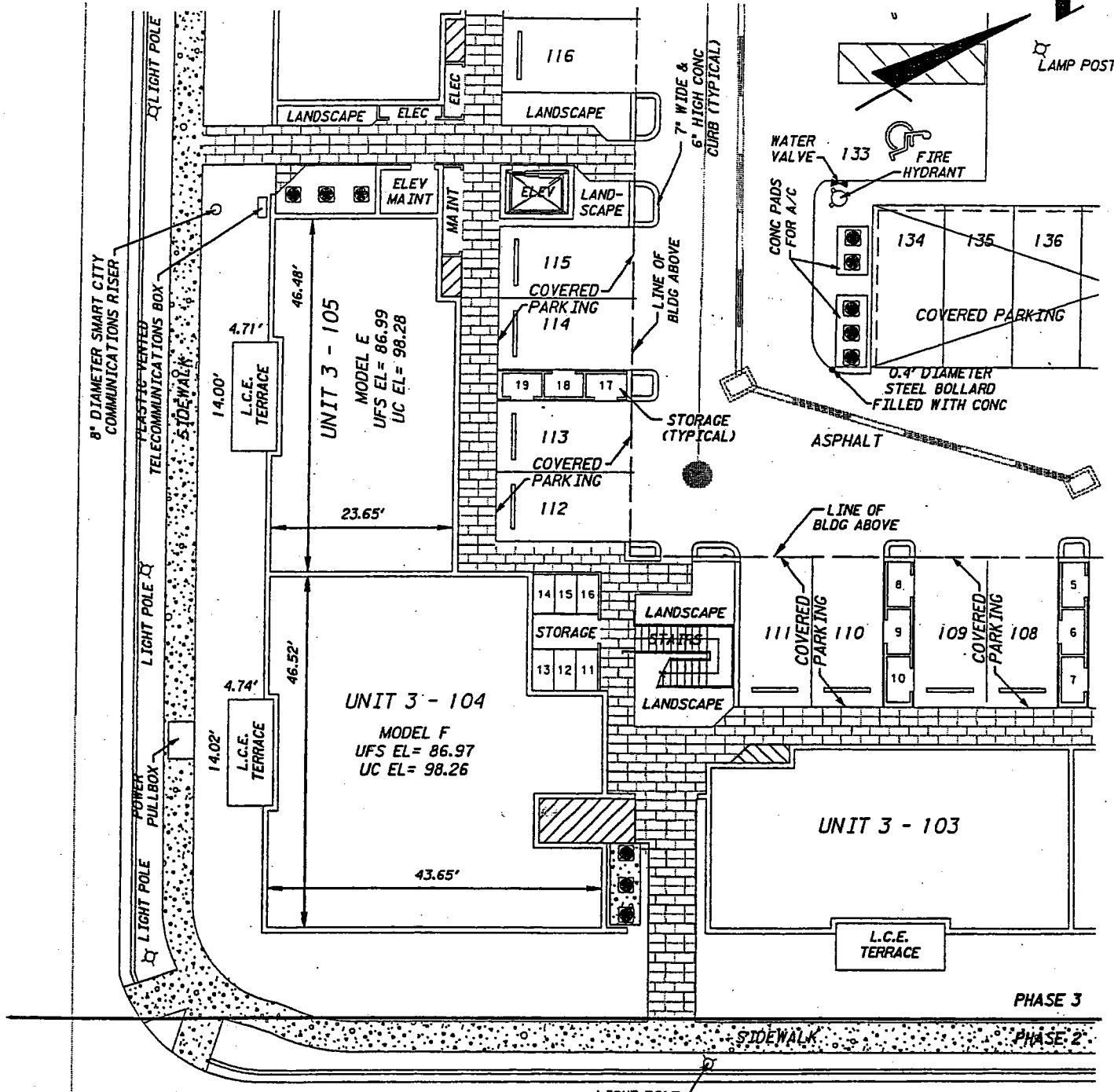
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Tel: 407/647-7275 Certificate No. LB 24

# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 1st Floor

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



### LIMITED COMMON ELEMENTS LEGEND

- ENTRYWAY
- WALKWAY
- A.C. LAND
- L.C.E. = LIMITED COMMON ELEMENT

### LEGEND

- TEL - TELEPHONE
- ELEC - ELECTRIC
- ELEV - ELEVATOR
- CONC - CONCRETE
- MAINT - MAINTENANCE
- BLDG - BUILDING

### ELEVATIONS

Elevations shown are based upon  
Walt Disney World Datum.  
Unfinished Floor Slab Elevation = UFS EL  
Unfinished Ceiling Elevation = UC EL

Date: 3/27/02  
Scale: 1" = 20'  
Job No.: 070544.00  
F.B.: 823  
Drawn By: PMM  
Ckd. By: DKK  
Sheet 4 of 12

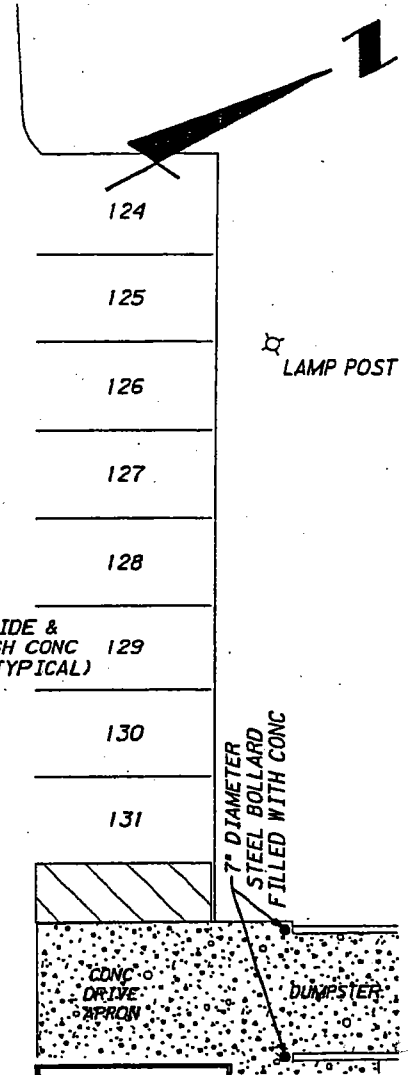
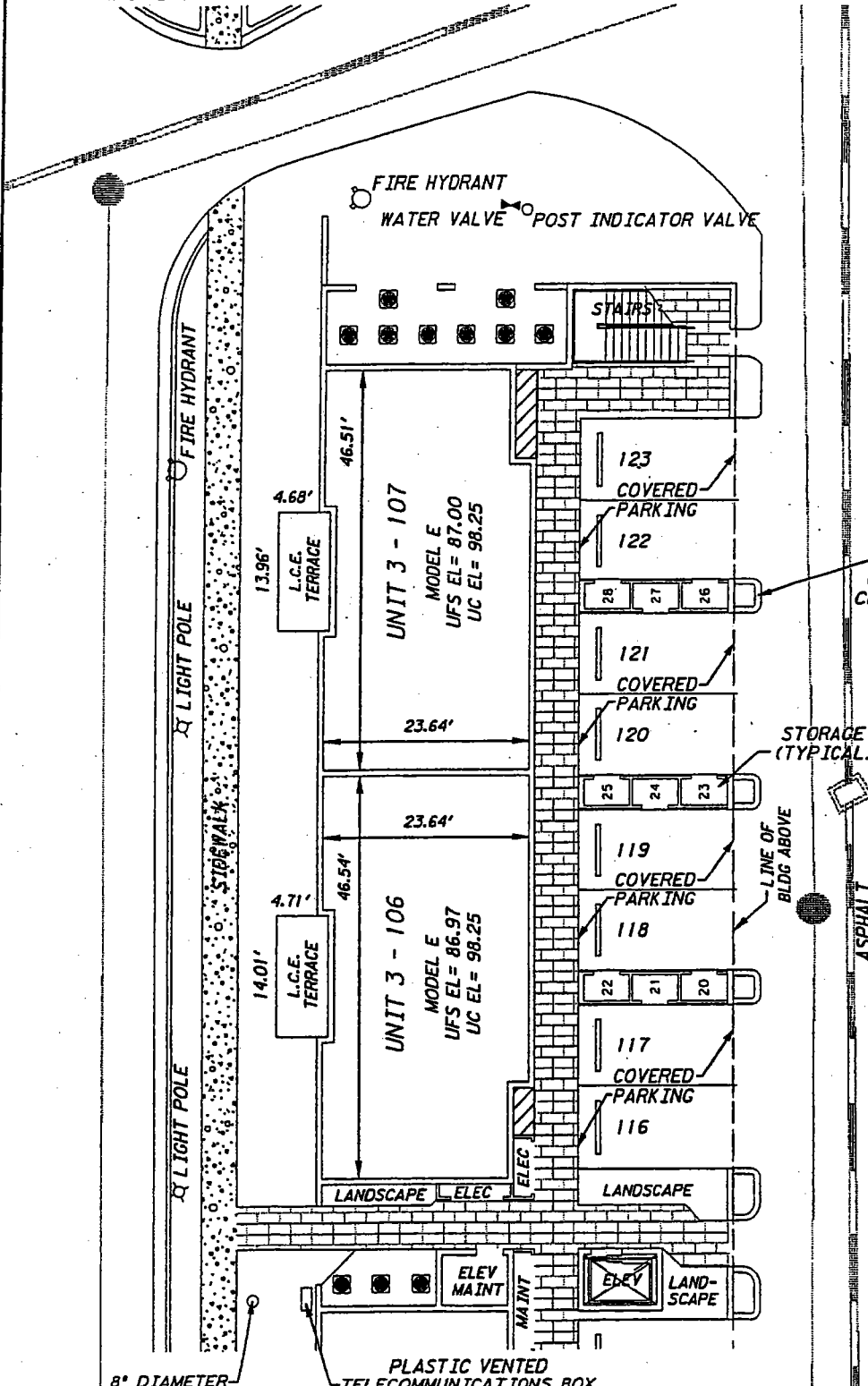
EXHIBIT A

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482 South Keller Road  
 Orlando, Florida 32810  
 Tel: 407/647-7275 Certificate No. LB 24

# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 1st Floor

## PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS (AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



### LIMITED COMMON ELEMENTS LEGEND

- ENTRYWAY
- WALKWAY
- A.C. LAND
- L.C.E. = LIMITED COMMON ELEMENT

### LEGEND

- TEL - TELEPHONE
- ELEC - ELECTRIC
- ELEV - ELEVATOR
- CONC - CONCRETE
- MAINT - MAINTENANCE
- BLDG - BUILDING

### ELEVATIONS

Elevations shown are based upon Walt Disney World Datum.  
 Unfinished Floor Slab Elevation = UFS EL  
 Unfinished Ceiling Elevation = UC EL

8" DIAMETER SMART CITY COMMUNICATIONS RISER

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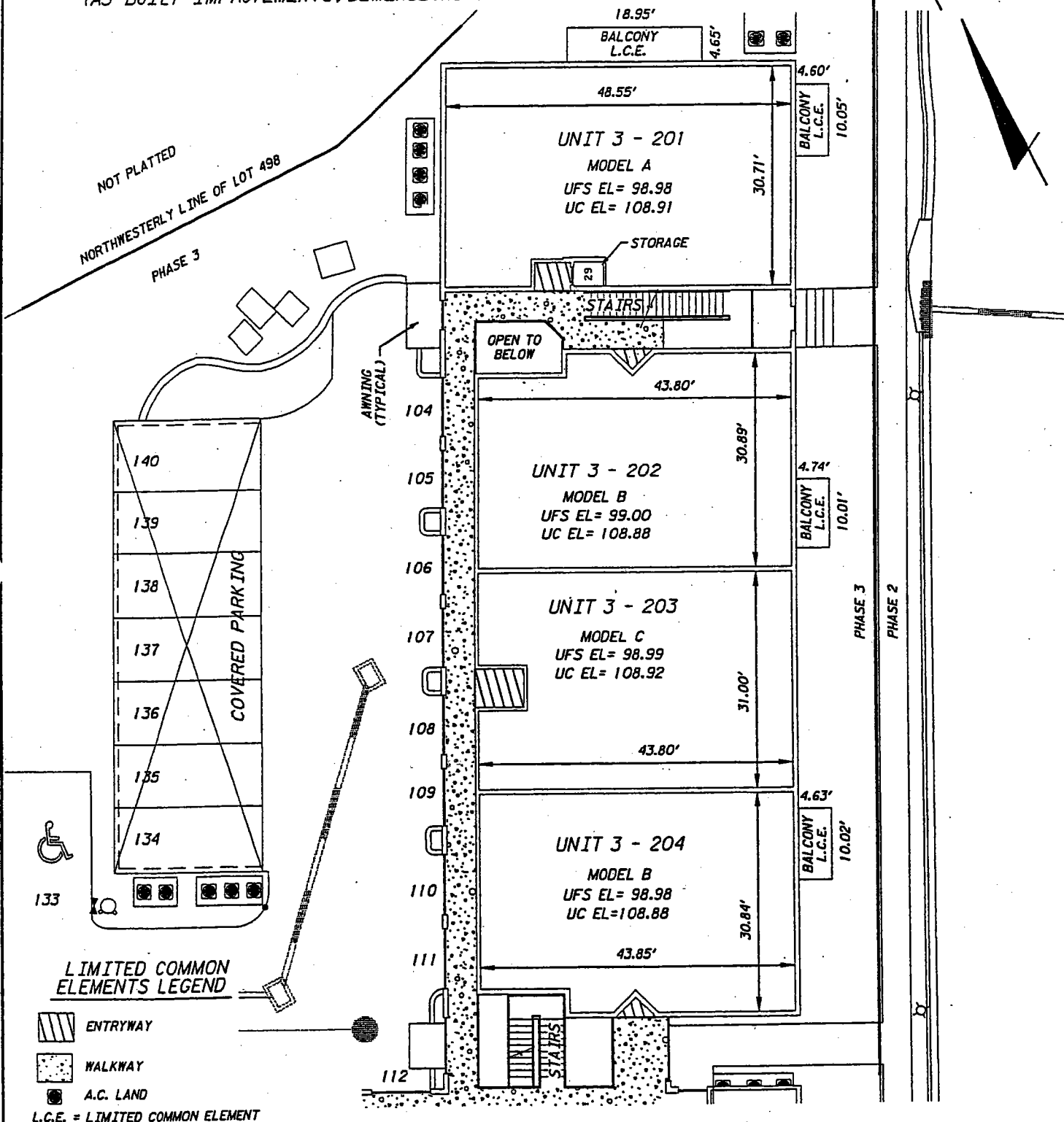
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 Orlando, Florida 32810  
 Tel: 407/647-7275 Certificate No. LB 24

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 F.B.: 823  
 Drawn By: PMW  
 Ckd. By: DKK  
 Sheet 5 of 12






# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 2nd Floor

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



### LIMITED COMMON ELEMENTS LEGEND

-  ENTRYWAY
  -  WALKWAY
  -  A.C. LAND
- L.C.E. = LIMITED COMMON ELEMENT

### ELEVATIONS

Elevations shown are based upon  
Walt Disney World Datum.

Unfinished Floor Slab Elevations = UFS EL  
Unfinished Ceiling Elevation = UC EL

Date: 3/27/02  
 Scale: 1" = 20'  
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 Ckd. By: DKK

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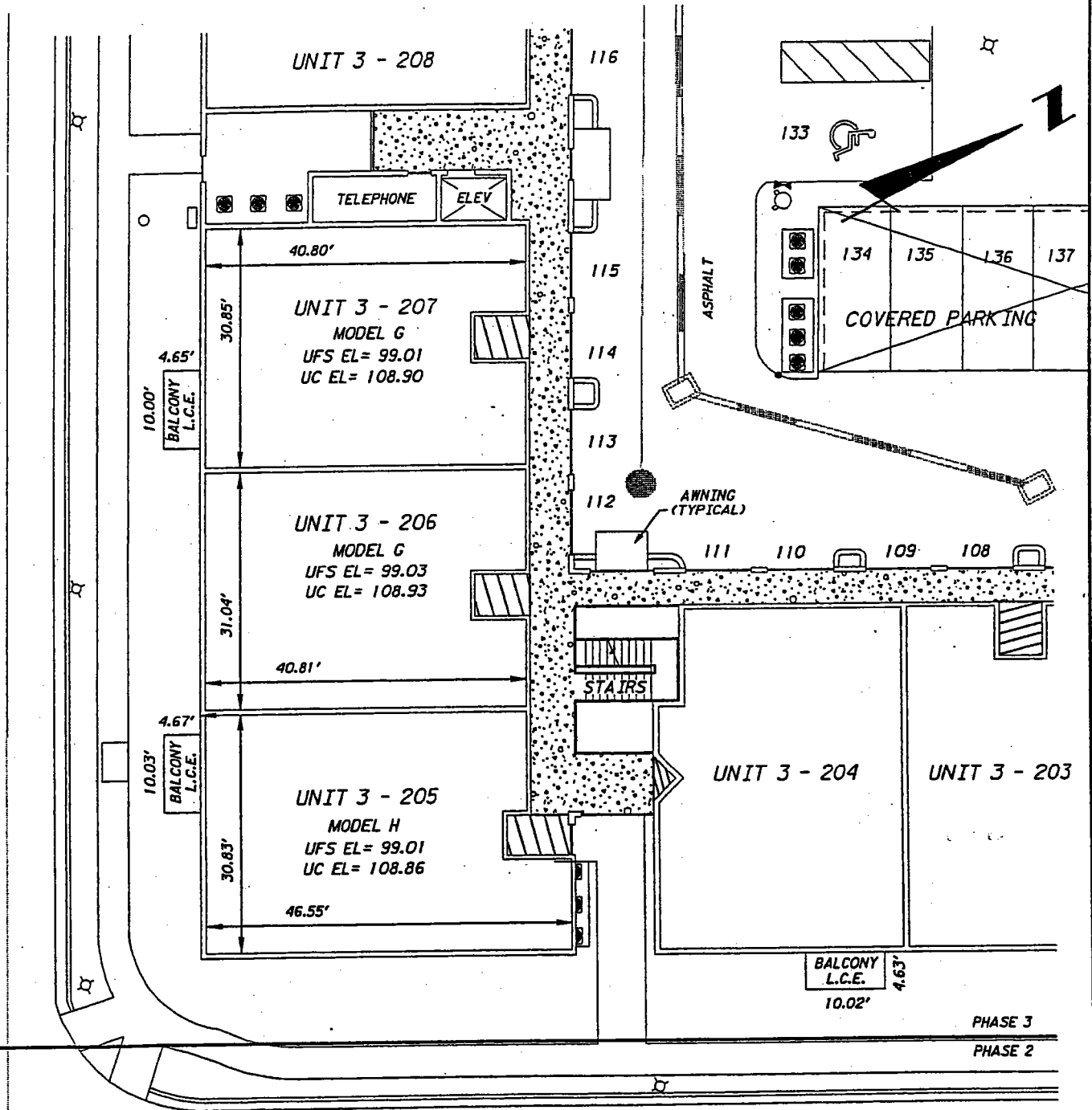
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482 South Keller Road  
Orlando, Florida 32810  
Tel: 407/647-7275 Certificate No. LB 24

# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 2nd Floor

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



### ELEVATIONS

Elevations shown are based upon  
Walt Disney World Datum.

Unfinished Floor Slab Elevations = UFS EL  
Unfinished Ceiling Elevation = UC EL

### LIMITED COMMON ELEMENTS LEGEND

-  ENTRYWAY
-  WALKWAY
-  A.C. LAND

L.C.E. = LIMITED COMMON ELEMENT

Date: 3/27/02  
Scale: 1" = 20'  
Job No.: 070544.00  
F.B.: 823  
Drawn By: PMM  
Ckd. By: DKK

EXHIBIT A Sheet 7 of 12

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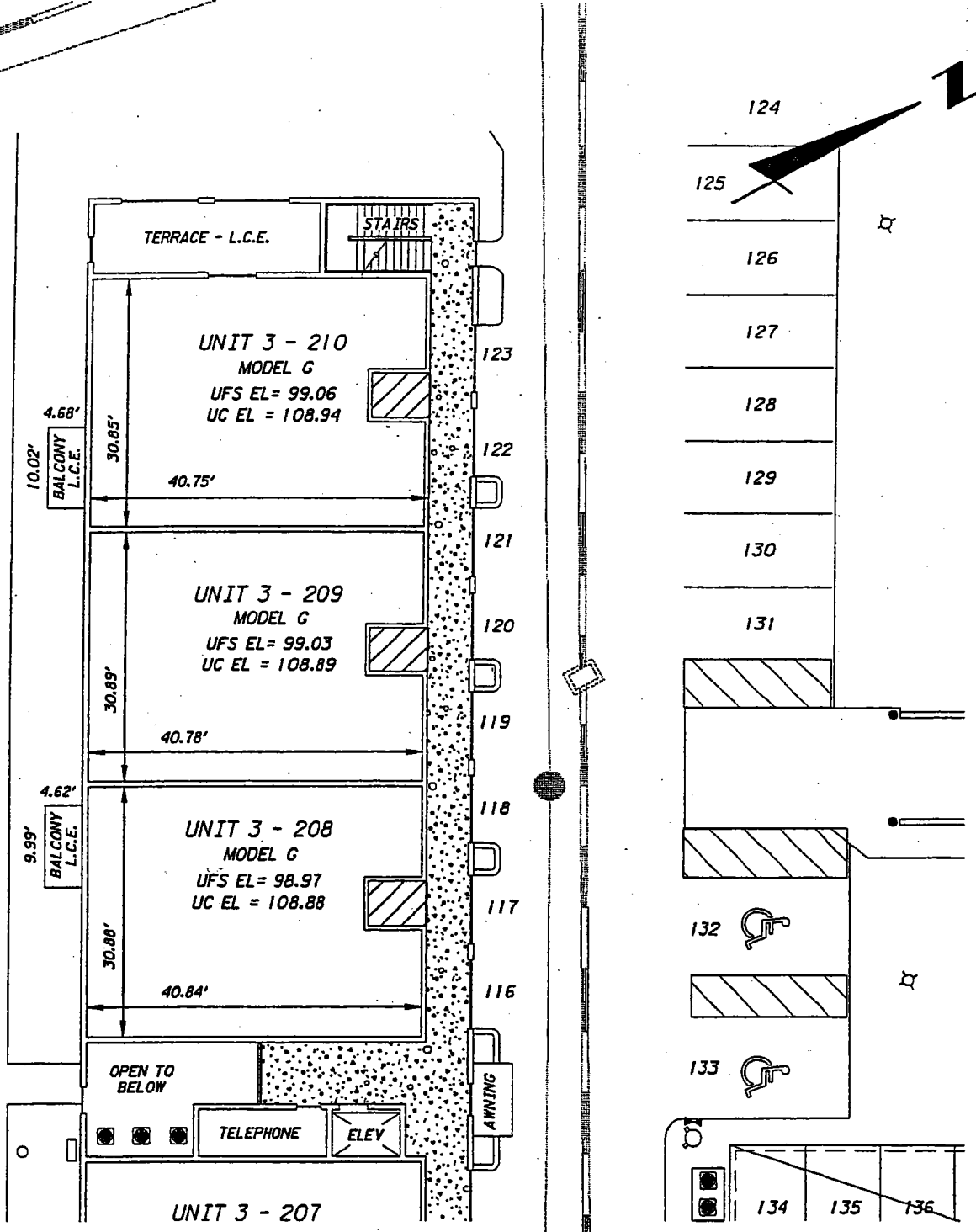


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Tel: 407/647-7275 Certificate No. LB 24

# THE TERRACES AT CELEBRATION, A CONDOMINIUM

## PHASE 3, 2nd Floor

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



**LEGEND**  
ELEV - ELEVATOR

**ELEVATIONS**  
Elevations shown are based upon  
Walt Disney World Datum.  
Unfinished Floor Slab Elevations = UFS EL  
Unfinished Ceiling Elevations = UC EL

**LIMITED COMMON ELEMENTS LEGEND**

- ENTRYWAY
- WALKWAY
- A.C. LAND
- L.C.E. = LIMITED COMMON ELEMENT

Date: 3/27/02  
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F.B.: 823  
Drawn By: PMM  
Ckd. By: DKK  
Sheet B of 12

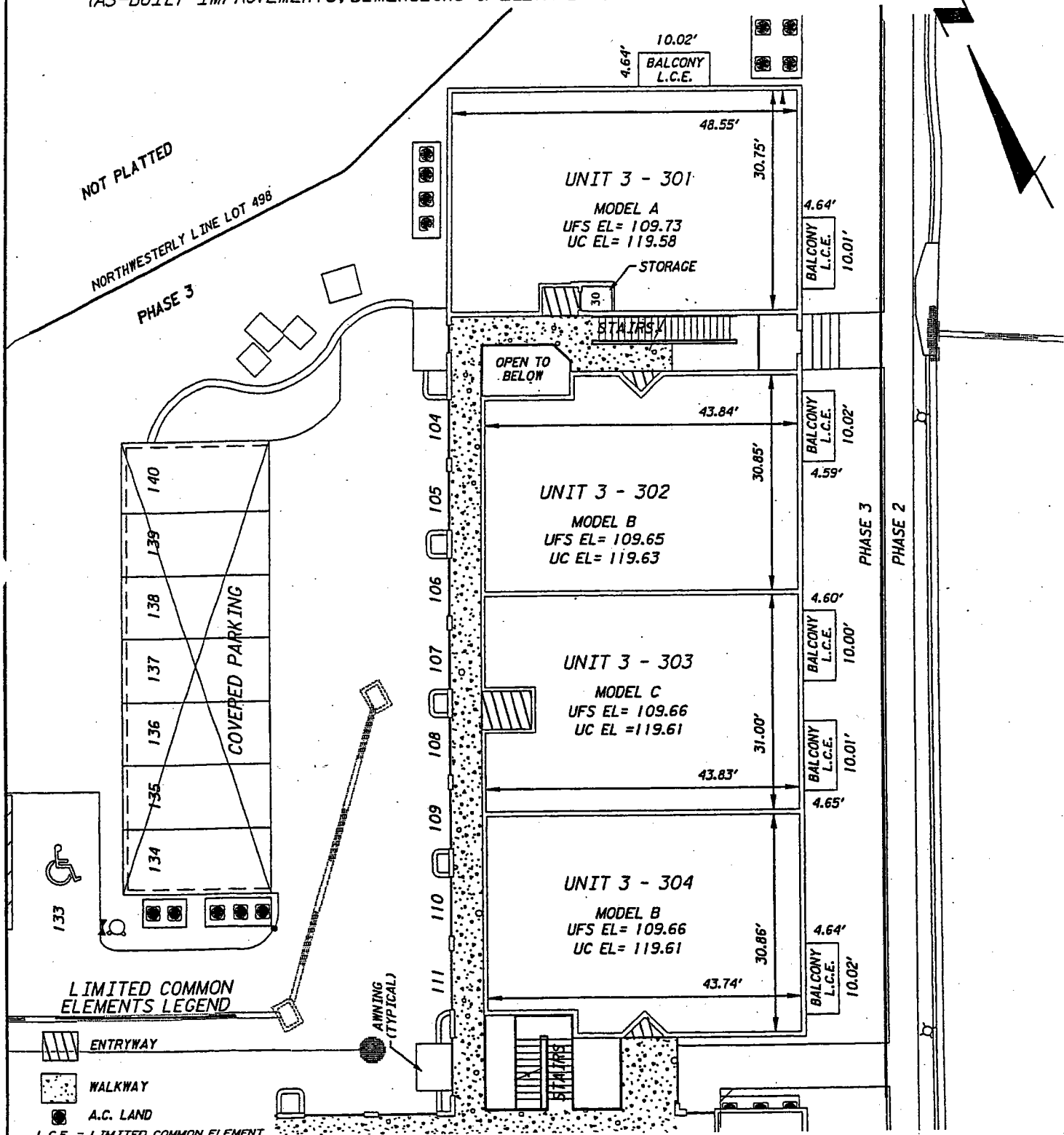
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482 South Keller Road  
Orlando, Florida 32810  
Tel: 407/647-7275 Certificate No. LB 24

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**EXHIBIT A**

# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 3rd Floor

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



**ELEVATIONS**  
Elevations shown are based upon  
Walt Disney World Datum.

Unfinished Floor Slab Elevations = UFS EL  
Unfinished Ceiling Elevation = UC EL

Date: 3/27/02  
Scale: 1" = 20'  
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Ckd. By: DKK

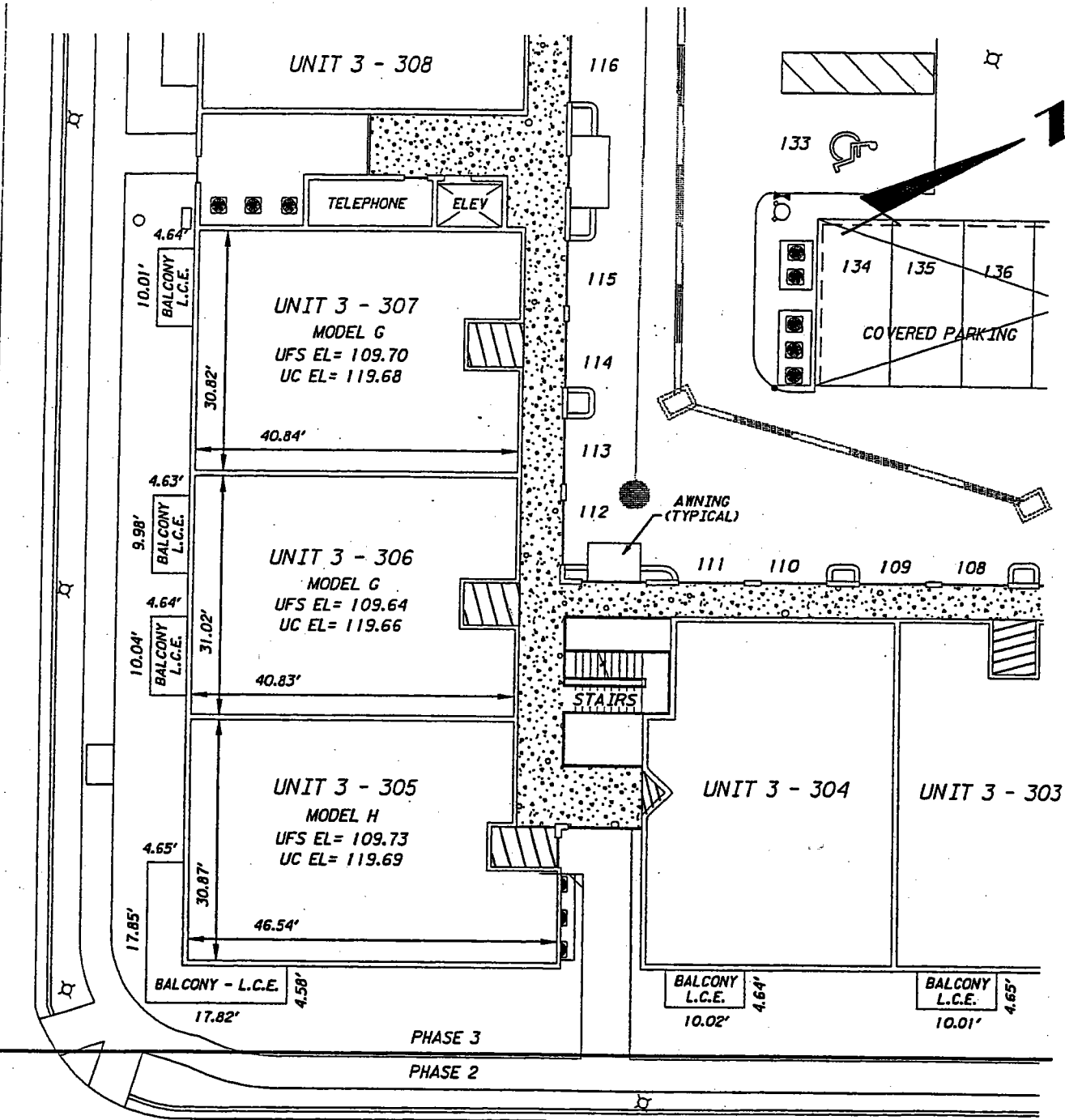
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Tel: 407/647-7275 Certificate No. LB 24

# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 3rd Floor

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



### ELEVATIONS

Elevations shown are based upon  
Walt Disney World Datum.

Unfinished Floor Slab Elevations = UFS EL  
Unfinished Ceiling Elevation = UC EL

### LIMITED COMMON ELEMENTS LEGEND

- ENTRYWAY
- WALKWAY
- A.C. LAND

L.C.E. = LIMITED COMMON ELEMENT

### LEGEND

ELEV = ELEVATOR

Date: 3/27/02  
Scale: 1" = 20'  
Job No.: 070544.00  
F.B.: 823  
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Ckd. By: DKK  
Sheet 10 of 12

EXHIBIT A

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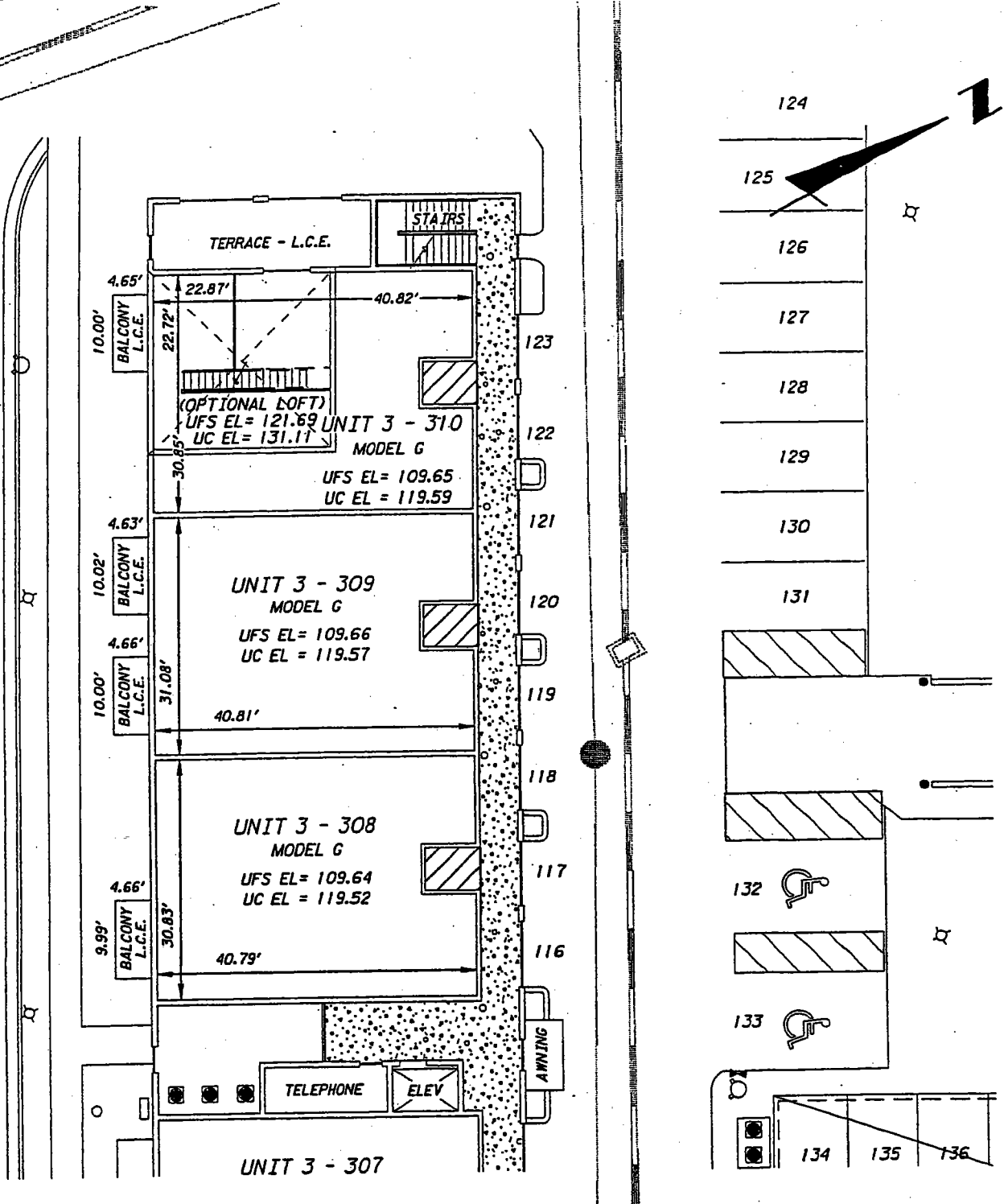
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# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3, 3rd Floor

PLOT PLAN AND GRAPHIC DESCRIPTION OF IMPROVEMENTS  
(AS-BUILT IMPROVEMENTS, DIMENSIONS & ELEVATIONS)



**LEGEND**  
ELEV - ELEVATOR

**ELEVATIONS**  
Elevations shown are based upon  
Walt Disney World Datum.  
Unfinished Floor Slab Elevations = UFS EL  
Unfinished Ceiling Elevations = UC EL

**LIMITED COMMON  
ELEMENTS LEGEND**

- ENTRYWAY
- WALKWAY
- A.C. LAND
- L.C.E. = LIMITED COMMON ELEMENT

Date: 3/27/02  
Scale: 1" = 20'  
Job No.: 070544.00  
F.B.: 823  
Drawn By: PMM  
Ckd. By: DKK  
Sheet 11 of 12

**EXHIBIT A**

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Orlando, Florida 32810  
Tel: 407/647-7275 Certificate No. LB 24

# THE TERRACES AT CELEBRATION, A CONDOMINIUM PHASE 3

## NOTES TO SURVEY

### I. DESCRIPTION OF DWELLING UNITS

Each Dwelling Unit shall consist of that part of the building containing such Dwelling Unit which lies within the boundaries of the Dwelling Unit, which boundaries are as follows:

#### A. Upper Boundaries

The upper boundary of each Dwelling Unit shall be the horizontal plane of the unfinished ceiling extended to an intersection with the perimetrical boundaries.

#### B. Lower Boundaries

The lower boundary of each Dwelling Unit shall be the horizontal plane of the unfinished floor slab of that Dwelling Unit extended to an intersection with the perimetrical boundaries.

#### C. Perimetrical Boundaries

The perimetrical boundaries of each Dwelling Unit shall be the following boundaries extended to an intersection with upper and lower boundaries:

##### (1) EXTERIOR BUILDINGS WALLS:

The intersecting vertical plane(s) of the innermost unfinished surfaces of the exterior wall of the building bounding such Dwelling Unit.

##### (2) INTERIOR BUILDINGS WALLS:

The vertical planes of the innermost unfinished surface of the party walls dividing Dwelling Units extended to intersections with other perimetrical boundaries.

Drywall and studs are included within the boundaries of each Dwelling Unit.

#### D. Apertures

Where there are apertures in any boundary, including, but not limited to, windows and doors, such boundaries shall be extended to include the interior, unfinished surfaces of such apertures, including all frameworks thereof. Exterior surfaces made of glass or other transparent materials, exterior doors of any type, including the locks, hinges and other hardware thereof, and all framings and casings thereof, shall be included in the boundaries of each Dwelling Unit.

#### E. Air Conditioning Units

The boundaries of each Dwelling Unit shall also be deemed to include all integral parts of the air conditioning unit located within the Dwelling Unit.

#### F. Excluded From Dwelling Units

The Dwelling Unit shall not be deemed to include utility services which may be contained within the boundaries of the Dwelling Unit but which serve Common Elements and/or a Dwelling Unit or Dwelling Units other than or in addition to the Dwelling Unit within which contained. Nor shall it include columns or partitions contributing to support of the Building. The items here identified are part of the Common Elements.

### 2. DESCRIPTION OF COMMON ELEMENTS

A. All land and all portions of the Condominium Property not within a Dwelling Unit(s) are Common Elements.

B. All bearing walls to the unfinished surface of said walls located within a Dwelling Unit and all columns or partitions contributing to support of the Building are Common Elements.

C. All conduits and wire to outlets, all other utility lines to outlets and all waste pipes, regardless of location, are Common Elements.

D. The Common Elements are subject to certain easements set forth in Article 12 of the Declaration of Condominium.

E. The Entryways, Walkways, Balconies and Terraces, so designated on the Survey are Limited Common Elements reserved for the use of the Owner(s) of the Unit(s) adjacent thereto or as otherwise indicated on the Survey.

F. The portions of the land upon which is situated all air conditioning equipment located outside the Dwelling Units ("A/C Land") are Limited Common Elements reserved for the use of the Owners of the Dwelling Units served by such equipment.

G. The definitions set forth in the Declaration of Condominium are incorporated herein.

Date: 3/27/02

Scale: N/A

Job No.: 070544.00

F.B.: 823

Drawn By: PMM

Ckd. By: DKK

EXHIBIT A Sheet 12 of 12

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28-MAR-2002  
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